

BUILDING PLANS
FOR
SOMETHING

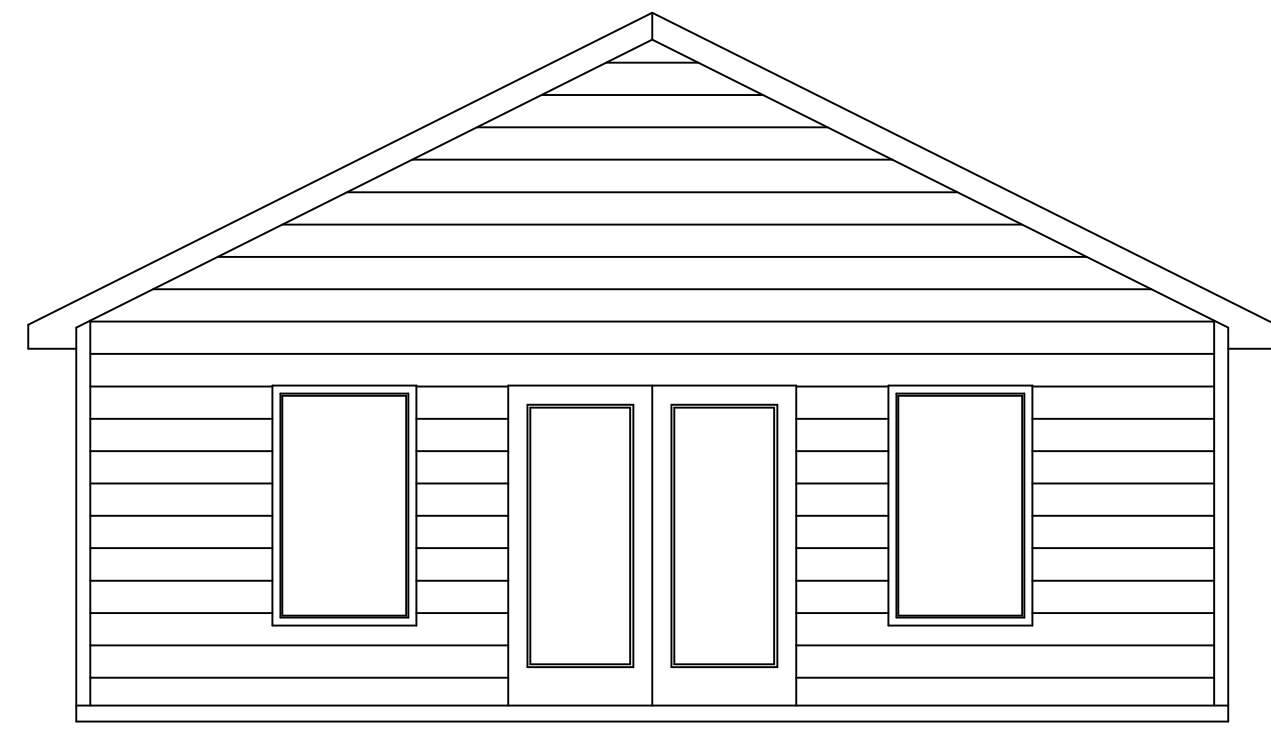


WILD

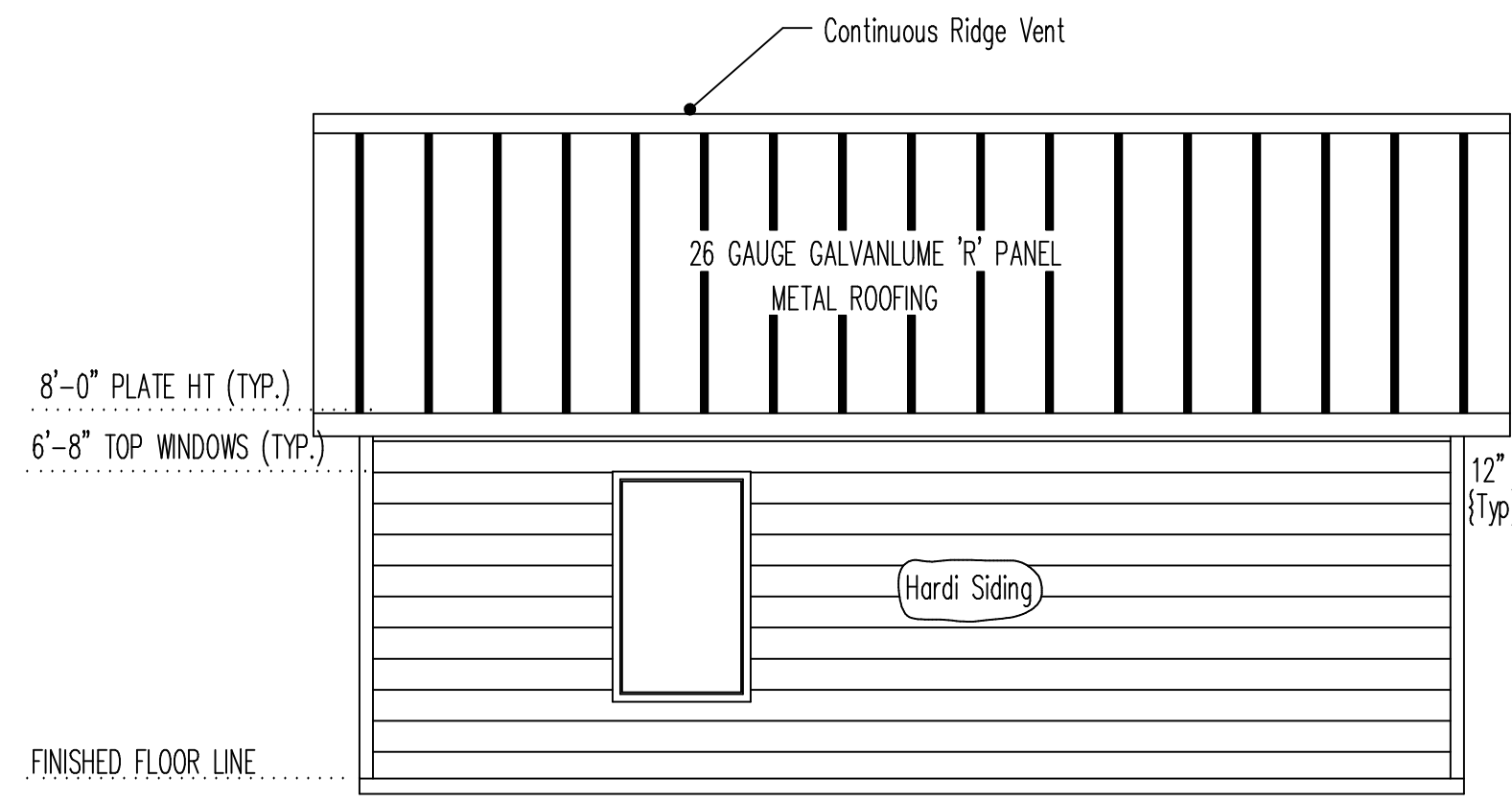
KILN
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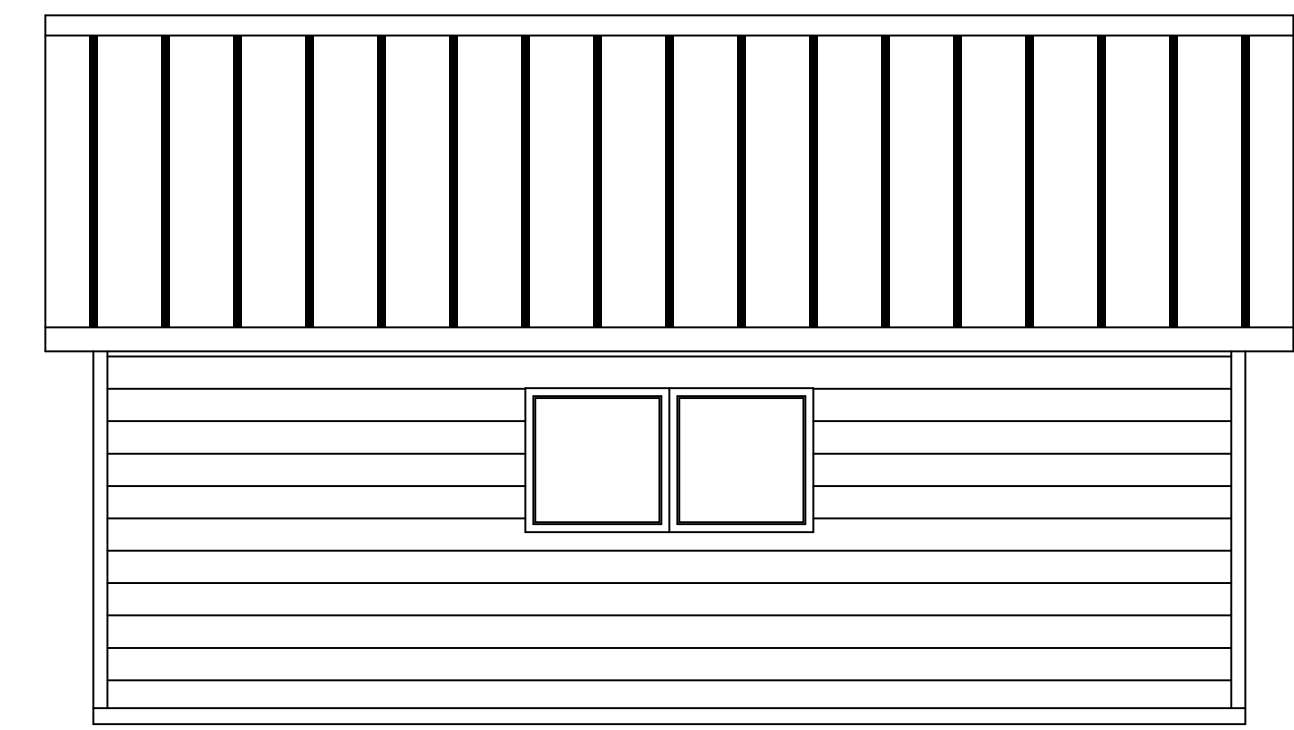
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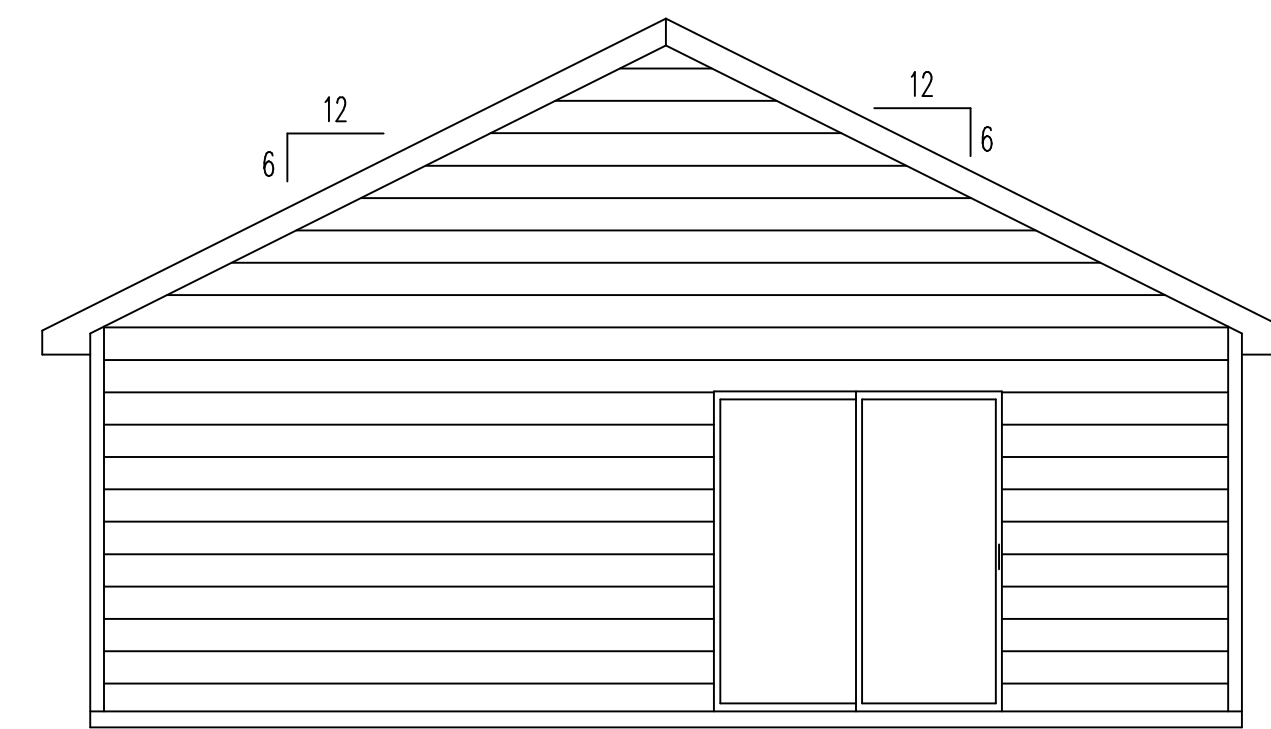
FRONT ELEVATION



RIGHT SIDE ELEVATION



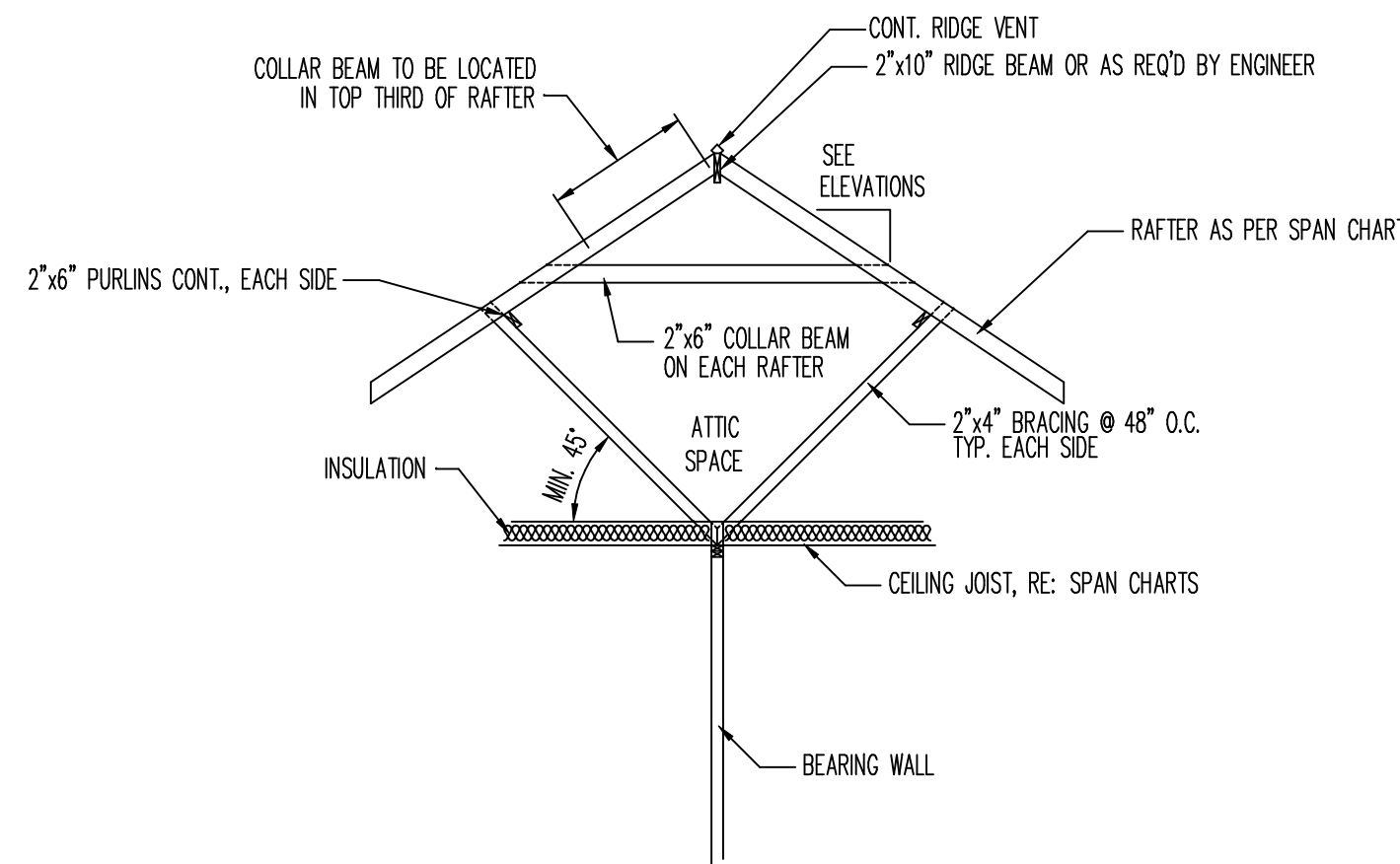
LEFT SIDE ELEVATION



REAR ELEVATION

ELEVATION PLAN

SCALE ----- 1/4" = 1'-0"



TYPICAL ROOF BRACING

SCALE ----- N.T.S.

ROOF PLAN NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIPS RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", NO. 2 S.Y.P. OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.
7. ALL ROOF PENETRATIONS TO BE ON SIDES OR REAR OF RESIDENCE. ALL PVC VENTS SHALL BE PAINTED BLACK OR TO MATCH ROOF.

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES
LIVE LOAD=30psf, L_d=180 DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT.-IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

NOTES:

The above tables are based on the IRC 2018 TABLE R802.4.1(3)

HIP/VALLEY CONVERSION

IF COMMON RAFTER ROOF PITCH IS... THE HIP/VALLEY RAFTER ROOF PITCH BECOMES...

RISE/RUN	SLOPE	RISE/RUN	SLOPE
1/12	5°	1/17	3°
2/12	10°	2/17	7°
3/12	14°	3/17	10°
4/12	18°	4/17	13°
5/12	23°	5/17	16°
6/12	27°	6/17	19°
7/12	30°	7/17	22°
8/12	34°	8/17	25°
9/12	37°	9/17	28°
10/12	40°	10/17	30°
11/12	42°	11/17	33°
12/12	45°	12/17	35°

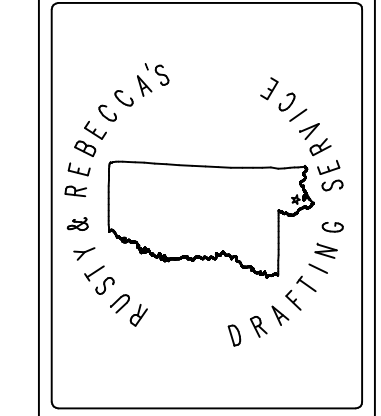
CONVERSION CHART FOR SIMPLE ROOFS ONLY. CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

RAFTER LENGTH CHART

ROOF PITCH	FACTOR
3/12	1.05
4/12	1.07
5/12	1.10
6/12	1.14
7/12	1.17
8/12	1.20
9/12	1.25
10/12	1.30
11/12	1.35
12/12	1.40
14/12	1.54
14/12	1.70

MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.

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Business Plans
Something Wildlife
Kiln, Mississippi
Elevation Plan

Drawn By	Rusty Ruopoli
Date	2/27/26
Scale	1/4"=1'
Job #	06
Sheet A.2 of	4

GENERAL NOTES:
CONSTRUCTION SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODES FOR ONE AND TWO FAMILY DWELLINGS AND AS REQUIRED BY THE COUNTY OR CITY CODE DEPARTMENT WHERE BEING BUILT.

-CONTRACTOR AND/OR SUBCONTRACTOR SHALL USE MEASURES TO INSURE THAT ONLY WORKMANSHIP OF THE HIGHEST QUALITY IS PERFORMED AND THAT ONLY THE BEST MATERIALS AND PRACTICES OF CONSTRUCTION ARE USED FOR A QUALITY AND SOUND BUILDING.
-PURCHASER AND/OR CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL BUILDING CODES AND ORDINANCES.
-ALL THOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE DRAWING, THE CONTRACTOR AND/OR ALL SUBCONTRACTORS MUST CHECK ALL CONDITIONS AND DIMENSIONS OF THIS PLAN PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR THE SAME.
-ALL PLUMBING STACKS AND A/C STACKS TO BE LOCATED ON THE REAR OR SIDE OF THE ROOF.

PLUMBING NOTES:

-ALL PLUMBING FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION AND ALL STATE, AND ALL OTHER APPLICABLE PLUMBING CODES.
-SHUTOFF VALVES SHALL BE INSTALLED FOR ALL FIXTURES.
-WATER HEATER SHALL BE INSTALLED IN THE ATTIC, IN PANS WITH PROPER VENTILATION.

ELECTRICAL NOTES:

-ALL ELECTRICAL EQUIPMENT, DEVICES, FIXTURES, AND WIRES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION AND/OR ALL STATE, LOCAL, AND ALL OTHER APPLICABLE ELECTRICAL CODES.
-ALL ELECTRICAL WORKMANSHIP SHALL COMPLY TO ALL STATE, LOCAL, AND ALL OTHER APPLICABLE ELECTRICAL CODES.
-ALL SLEEPING AREAS ARE TO BE PROTECTED WITH SMOKE DETECTORS. THESE SMOKE DETECTORS WILL BE WIRED TO 110 VOLT HOUSE CURRENT AND MEET THE DESIGN CRITERIA BY UL DESIGN 268. THEY WILL BE INSTALLED NO FURTHER THAN TEN FEET FROM ANY SLEEPING AREA, AND NO CLOSER THAN 6" FROM THE WALL OR CEILING DEPENDING UPON WHERE THEY ARE MOUNTED.
-ALL THERMOSTATS ARE TO BE CENTRALLY LOCATED TO THEIR AREA OF CONTROL.
-ALL SHEET ROCK AROUND TUBS AND SHOWERS SHALL BE WATERPROOF.
-ALL DECORATING, INCLUDING PAINT AND WALLPAPER, TO BE SPECIFIED AND LOCATED PER OWNER. MINIMUM OF FOUR INTERIOR COLORS PLUS TRIM.

CABINETS AND VANITIES DESIGN BY OTHERS

FRAMING:
-ALL EXTERIOR AND INTERIOR WALLS SHALL BE CONSTRUCTED OF 2" x 4" STUDS UNLESS OTHERWISE NOTED.
-ALL FRAMING LUMBER INCLUDING STUDS, PLATES, JOIST, AND RAFTERS, SHALL BE SURFACE DRY NO. 2 SOUTHERN PINE OR SIMILAR SPECIES OF EQUAL STRENGTH AND QUALITY.
-ALL FRAMING MEMBERS SHALL BE SPACED 16" O.C., UNLESS OTHERWISE NOTED.
-ALL BEAMS SHALL BE SUPPORTED WITH A MINIMUM OF 3 STUDS AT BOTH ENDS UNLESS OTHERWISE NOTED.
-DOUBLED ALL JOIST UNDER PARTITIONS RUNNING PARALLEL AND AROUND STAIRWAYS AND FIREPLACE OPENINGS.
-MINIMUM HEADER SIZE SHALL BE 2"-2" x 8", UNLESS OTHERWISE NOTED.
-PLATES AND SILLS SHALL BE HALVED TOGETHER ALL CORNERS AND SPLICES.
-STUDS IN WALLS AND PARTITIONS SHALL BE DOUBLED AT ALL CORNERS AND OPENINGS.

-JOIST OVER 12" IN SPAN SHALL BE BRIDGED AT CENTER WITH ONE ROW OF 1 X 3 CROSS BRIDGING OR STRONG BACK.
-WALL SHEETING SHALL BE 1/2" PLYWOOD OR (OSB)

-SOPHIST, FIASCO, AND SIDING SHALL BE MADE OF HARDIE PLANK. INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
-EXTERIOR DECKS, PORCHES, AND BALCONIES, INCLUDING STRUCTURAL AND NON-STRUCTURAL COMPONENTS, SHALL BE CONSTRUCTED WITH PRESSURE TREATED WOOD PRODUCTS.

MOISTURE AND THERMAL PROTECTION

-BATT INSULATION SHALL BE AS FOLLOWS:
-R-19 FOR ALL 6" EXTERIOR WALLS
-R-13 FOR ALL 4" EXTERIOR WALLS
-R-30 FOR ALL ATTIC AND FLOOR

LOW DENSITY OPEN CELL POLYURETHANE INSULATION OPTIONAL TO OWNER.

-PERIMETERS OF EXTERIOR WINDOWS AND DOORS, PENETRATIONS THROUGH EXTERIOR WALLS, AND JOINTS OF ABUTTING DISSIMILAR MATERIALS SHOULD BE SEALED WITH AN APPROPRIATE CAULK PER ASTM-962.

FINISHES

-ALL INTERIOR FACES OF WALLS AND CEILINGS SHALL BE COVERED WITH 1/2" PLAIN GYPSUM BOARD INSTALLED WITH 1" TYPE S DRYWALL SCREWS HAVING EXTERNAL AND INTERNAL CORNER BEADS.
-ALL JOINTS SHOULD BE TAPED AND 3 COATS OF SPACKLE APPLIED
-LIGHT ORANGE PEEL FINISH.

DOOR & WINDOW DESIGNS, STYLE AND MANUFACTURE OPTIONAL TO OWNER
EXTERIOR DOORS SHALL BE DESIGNED FOR 130 MPH WIND OR GREATER
WINDOW DESIGN SHALL BE FOR 130 MPH WIND OR GREATER
A MINIMUM EGRESS OPENINGS FOR SLEEPING ROOMS SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20" AND HEIGHT OF 24" OPENING.
CABINETS TO BE DESIGNED AND INSTALLED AT OWNERS OPTION
ALLOWANCES TO BE DETERMINED AND AGREED ON BY OWNER
AND CONTRACTOR FOR ELECTRICAL FIXTURES, PLUMBING APPLIANCES FLOORING AND CABINETS, MOLDING DESIGN AT OWNERS OPTION.

GENERAL BUILDING NOTES

- All plumbing walls must be sized according to penetrations.
- All plumbing fixtures must have valves and those valves must be accessible.
- Attic access must be at least 54 1/2" x 24 1/2".
- Equipment in attic must be at least 20 feet from access.
- Bathrooms without windows must be vented to the exterior.
- Windows and doors must be a minimum of 27" from corners on 8 foot walls and 34" on ten foot walls.
- All roof bracing must be done to all load bearing walls and not to ceiling strongbacks.
- Decking in attic for storage. See owner for exact location.
- All exterior walls to be 4"
- Every sleeping room shall have at least 1 openable window with a min. openable arc for emergency egress of 5.0 sq. ft. (720 sq. inch) at grade level or 5.7 sq. ft. (820 sq. inch) in raised foundations min. opening height 24" min. opening width 20"
- Bathroom windows must be tempered glass if bottom edge of glazing is located less than 60" above any walking or standing surface.

GENERAL NOTES

- Owner shall approve all phases of construction.
- Construction shall be in strict accordance with all applicable National, State, and Local codes, Regulation and FHA/VAMPS.
- Contractor and/or subcontractor shall check and verify all dimensions and conditions on this job as pertaining to their portion of the work. Any discrepancies shall be brought to the attention of R&R Design Drafting Services, for justification and/or correction before proceeding with work. Contractor and/or subcontractor will assume responsibility for errors that are not reported in writing.
- All dimensions shall be read or calculated and never scaled
- If in the event Owner, Contractor or Subcontractor deviate from the plans contained herein, R&R Design Drafting Services, shall not assume any responsibility for any and all portions contained herein.
- Draftsperson is not responsible for any structural sizing of materials. Any materials called out in details are strictly for reference only. Contractor/ Owner shall assume full responsibility for the correct sizing & overseeing of this construction.

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTICS WITH LIMITED STORAGE. LIVE LOAD=20psf, L/ 240 DEAD LOAD = 10psf)		
IF HABITABLE ATTIC SPACE IS DESIRED. REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.		
SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT.-IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

NOTES:
The above tables are based on the IRC 2018 TABLE R802.4.1(3)

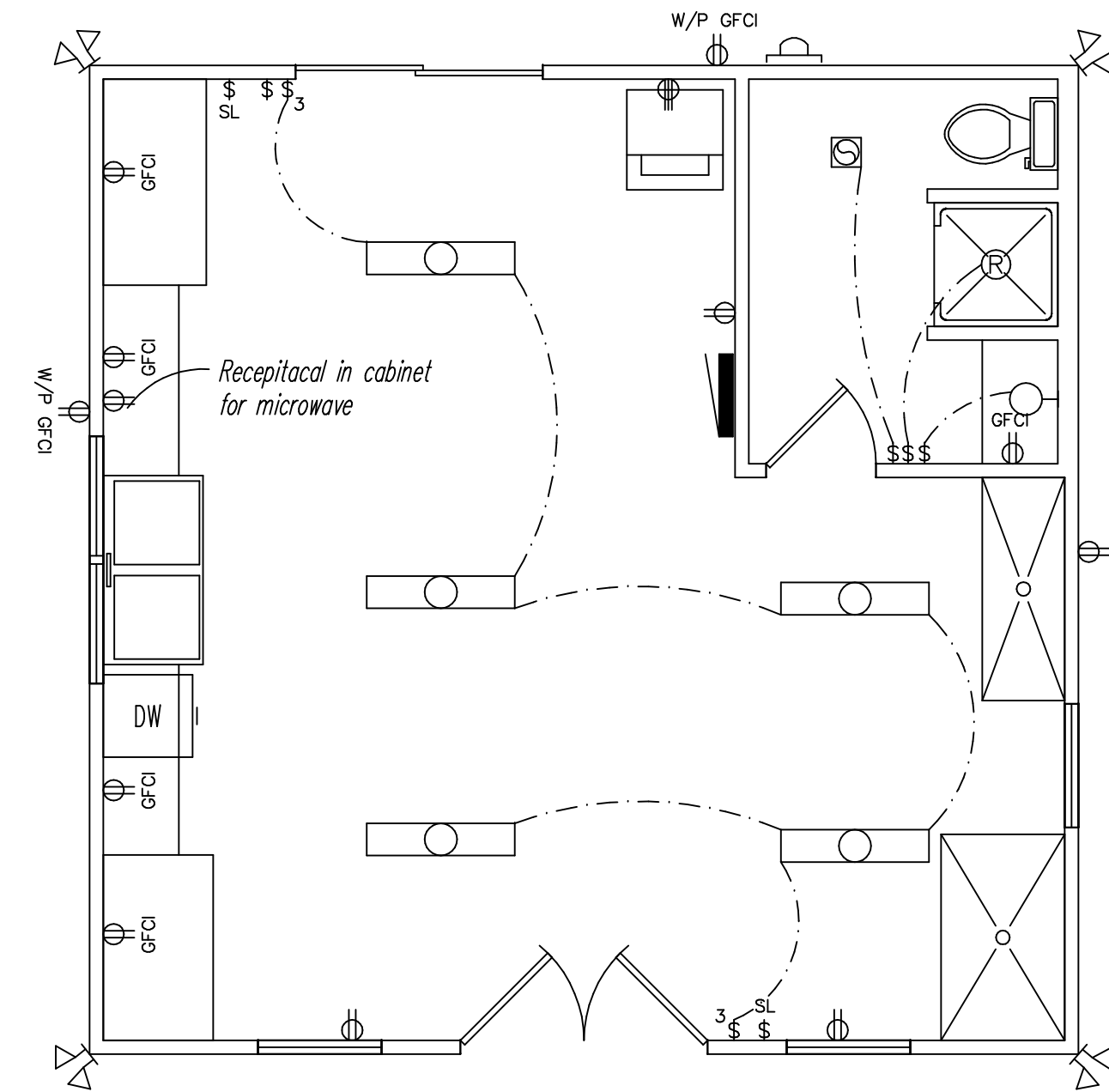
GENERAL NOTES

- A minimum of one wall switch controlled lighting outlet is required in every habitable room, in hallways, stairways, and attached garages, and at outdoor entrances. Exception: in habitable rooms other than kitchens and bathrooms one or more receptacles controlled by a wall switch are permitted in lieu of lighting outlets.
- In every kitchen, family room, dining room, den, breakfast room, living room, parlor, sun room, bedroom, recreation room, and similar rooms, receptacle outlets are required such that no point along the floor line in any spaces greater than 6 ft, measured horizontally, from an outlet in that space, including any wall space 2 ft or more wide and the wall space occupied by sliding panels in exterior walls.
- A minimum of two #12 wire 20 A small appliance circuits are required to serve only small appliance outlets, including refrigeration equipment, in kitchen, pantry, dining room, breakfast room, and family room. Both circuits must extend to kitchen; the other rooms may be served by either one or both of them. No other outlets may be connected to these circuits, other than a receptacle installed solely for the supply to and support of an electric clock. In kitchen and dining areas receptacle outlets must be installed at each and every counter space wider than 12 in.
- A minimum of one #12 wire 20 A circuit must be provided to supply the laundry receptacle(s), and it may have no other outlets.
- A minimum of one receptacle outlet must be installed in bathroom near the basin and must be provided with ground fault circuit interrupter protection.
- The code requires sufficient 15 and 20 A circuits to supply 3 W of power for every square foot of floor space, not including garage and open porch areas. Minimum code suggestion is one circuit per 600 sq. ft; one circuit per 500 sq. ft is desirable.
- A minimum of two exterior receptacle outlet is required and must be provided with ground fault circuit interrupter protection, including carport receptacles
- Install hot water heater and all appurtenances in attic, Electrician shall coordinate with contractor for proper decking. A pan shall be installed in case of rupture.
- Install 110v lights and switches as needed in attic.
- All wiring below BFE must be for wet location.
- All 125V 15/20 amp circuits serving bedrooms must be arc fault protected including S/D's.
- All receptacles must comply with sec E4002.14 of 2018 IRC

NOTE:
ELECTRICAL CONTRACTOR SHALL COMPLY WITH ALL LOCAL ELECTRICAL CODES.
CONTRACTOR SHALL CONSULT W/ OWNER FOR LOCATIONS OF CABLE, TELEPHONE JACKS AND ETHERNET CABLES.
LOCATION OF FLOOD LIGHTS TO BE DETERMINED BY THE OWNER IN THE FIELD.
LOCATION OF SERVICE PANEL TO BE DETERMINED FROM LOCATION OF UTILITY POLE.

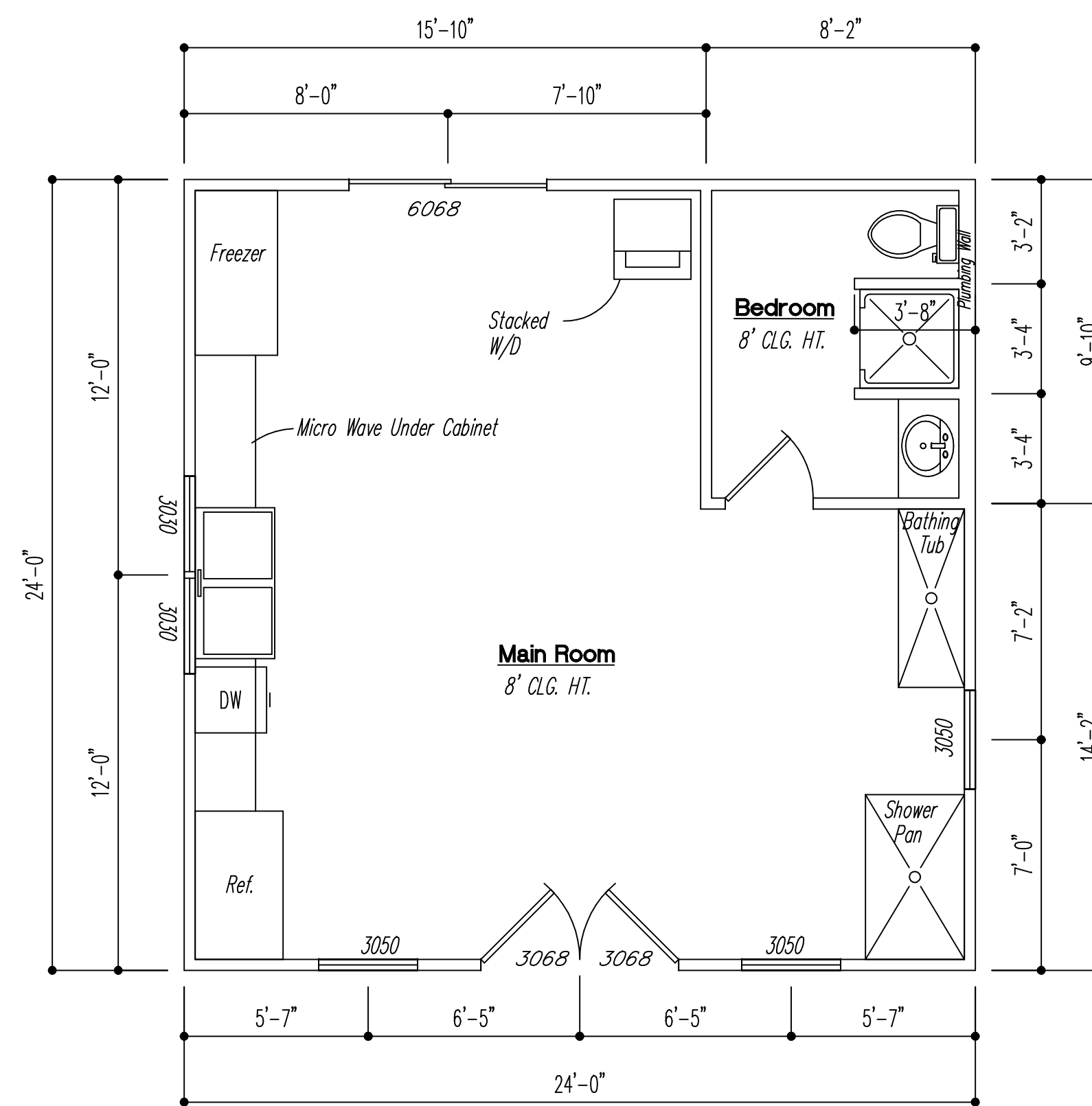
ELECTRICAL LEDGEND

- Vent/Light
- Recessed Can
- Wall Mounted Light
- Ceiling Light
- Fluorescent Light
- Wiring
- Inside Panel
- Meter can
- 110 Recept.
- 120/240 Volt Recept.
- Ground Fault Circuit Interrupter
- Weather Proof Ground Fault Circuit Interrupter
- Single Pole Switch
- 3-Way Switch
- Security Light Switch
- Security Lights



ELECTRICAL PLAN

SCALE ----- 1/4" = 1'-0"



FLOOR PLAN

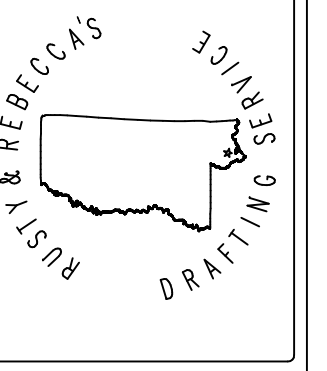
SCALE ----- 1/4" = 1'-0"

SQUARE FOOTAGE
HEATED AND COOLED - 576

R & R Design Drafting Services

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Phone (228) 342-2468

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Business Plans
Something Wildlife
Klin, Mississippi
Floor & Electrical Plan

Drawn By	Rusty Ruzpoki
Date	2/27/26
Scale	1/4"=1'
Job #	06
Sheet A.1 of 4	

FOUNDATION NOTES

1. FOOTINGS SHALL BE IN UNDISTURBED CLEAN SOIL FREE OF ALL DELETERIOUS MATERIAL.
2. REINFORCING STEEL SHALL BE ACCORDANCE WITH THE LATEST EDITION OF CRSI.

CONCRETE NOTES

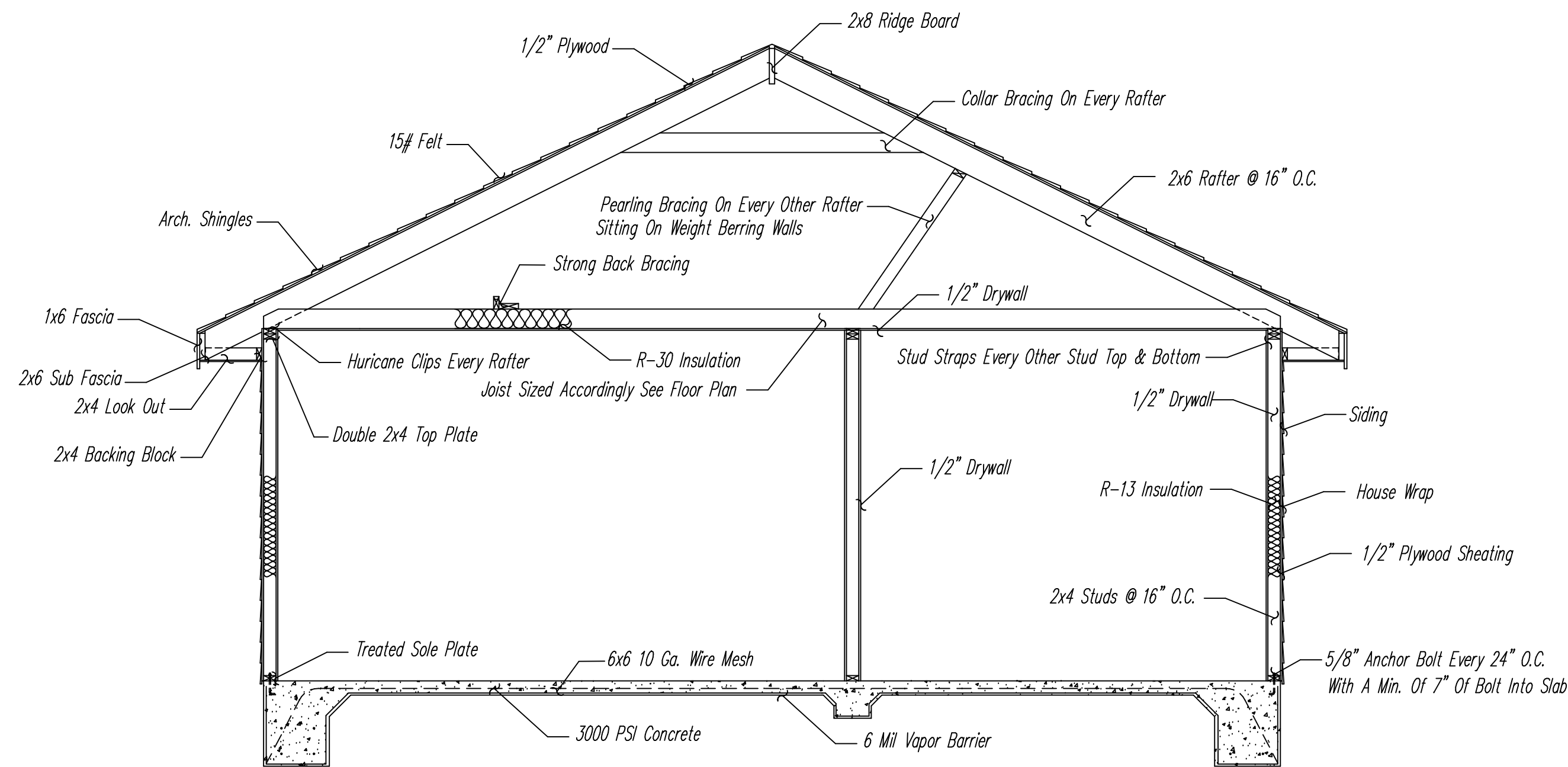
1. CONCRETE SHALL BE NORMAL WEIGHT AND HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PST AT 28 DAYS
2. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE 1 OR 11. AGGREGATE SHALL CONFORM TO ASTM C-33
3. MIXING, TRANSPORTING AND PLACING OF CONCRETE SHALL CONFORM TO ACI 301 (LATEST EDITION).
4. CONCRETE SHALL BE POURED WITH A 5" MAXIMUM SLUMP.
5. ALLOW CONCRETE TO CURE FOR A MINIMUM OF 7 DAYS BEFORE ANY LOADS ARE APPLIED.
6. DETAILING OF REINFORCING BARS AND ACCESSORIES SHALL CONFORM TO THE CRSI "MANUAL OF STANDARD PRACTICE (LATEST EDITION)
7. UNLESS OTHERWISE NOTED, THE FOLLOWING COVER FOR REINFORCEMENT SHALL BE PROVIDED:
 - A. CONCRETE DEPOSITED DIRECTLY AGAINST GROUND, 3" CLEAR.
 - B. FORMED CONCRETE EXPOSED TO WEATHER OR GROUND AFTER REMOVAL OF FORMS, 2" CLEAR.
 - C. FORMED CONCRETE NOT EXPOSED TO WEATHER OR GROUND , 1 1/2" CLEAR FOR COLUMNS AND BEAMS, 3/4" CLEAR FOR SLABS AND WALLS.
8. CONCRETE REINFORCEMENT SHALL CONFORM TO ASTM A-615, GRADE 40 REINFORCEMENT BARS SHALL NOT BE WELDED OR HEATED UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
9. REINFORCEMENT BARS SHALL BE CONSIDERED CONTINUOUS AND SHALL HAVE A MINIMUM 40 BAR DIAMETER LAP UNLESS OTHERWISE NOTED
10. WELDED WIRE FABRIC SHALL BE 6X6-10/10 CONFORMING TO ASTM A885. FABRIC SHALL BE LAPPED TWO MESH SPLICES.

NOTE:
CONTRACTOR SHALL DETERMINE AND VERIFY ALL INTERIOR LOAD BEARING WALL FOOTINGS ACCORDING TO LOAD BEARING CAPACITIES AND LOCAL BUILDING CODES.

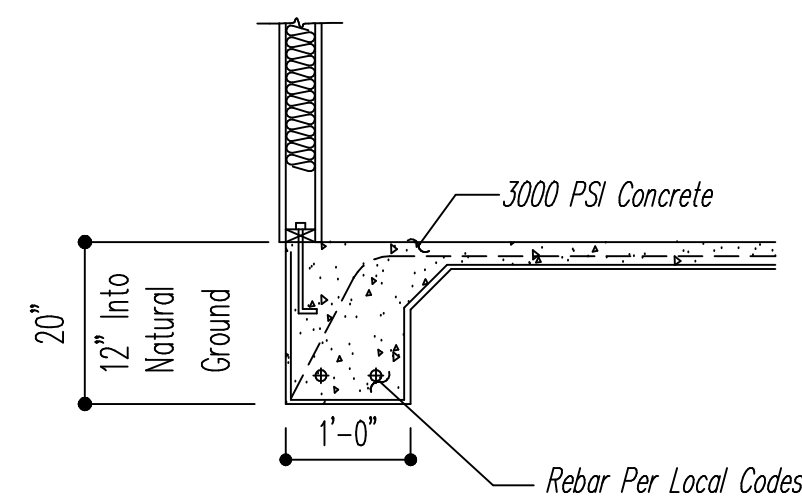
GENERAL NOTES

1. Footings are designed for soil bearing pressure of 1200 P.S.F. Footings shall be redesigned if soil of lesser bearing is encountered. It is assumed that soil is non-expansive. If expansive soil is encountered, it shall be removed and replaced
2. All foundations footings shall be a min. of 12" into natural grade. Excavations shall be free of debris and water prior to pouring concrete. Concrete shall obtain a min. compressive strength of 3000 P.S.I. at 28 days max. Water content of 7.5 gallons per sack of cement.
3. Install hurricane straps and anchor bolts as per local code.
4. All dimensions shall be verified by contractor prior to and during construction.
5. Termite treatment by bonded contractor.
6. Draftsperson is not responsible for any structural sizing of materials. Any materials called out in details are strictly for reference only. Contractor/ Owner shall assume full responsibility for the correct sizing & overseeing of this construction.

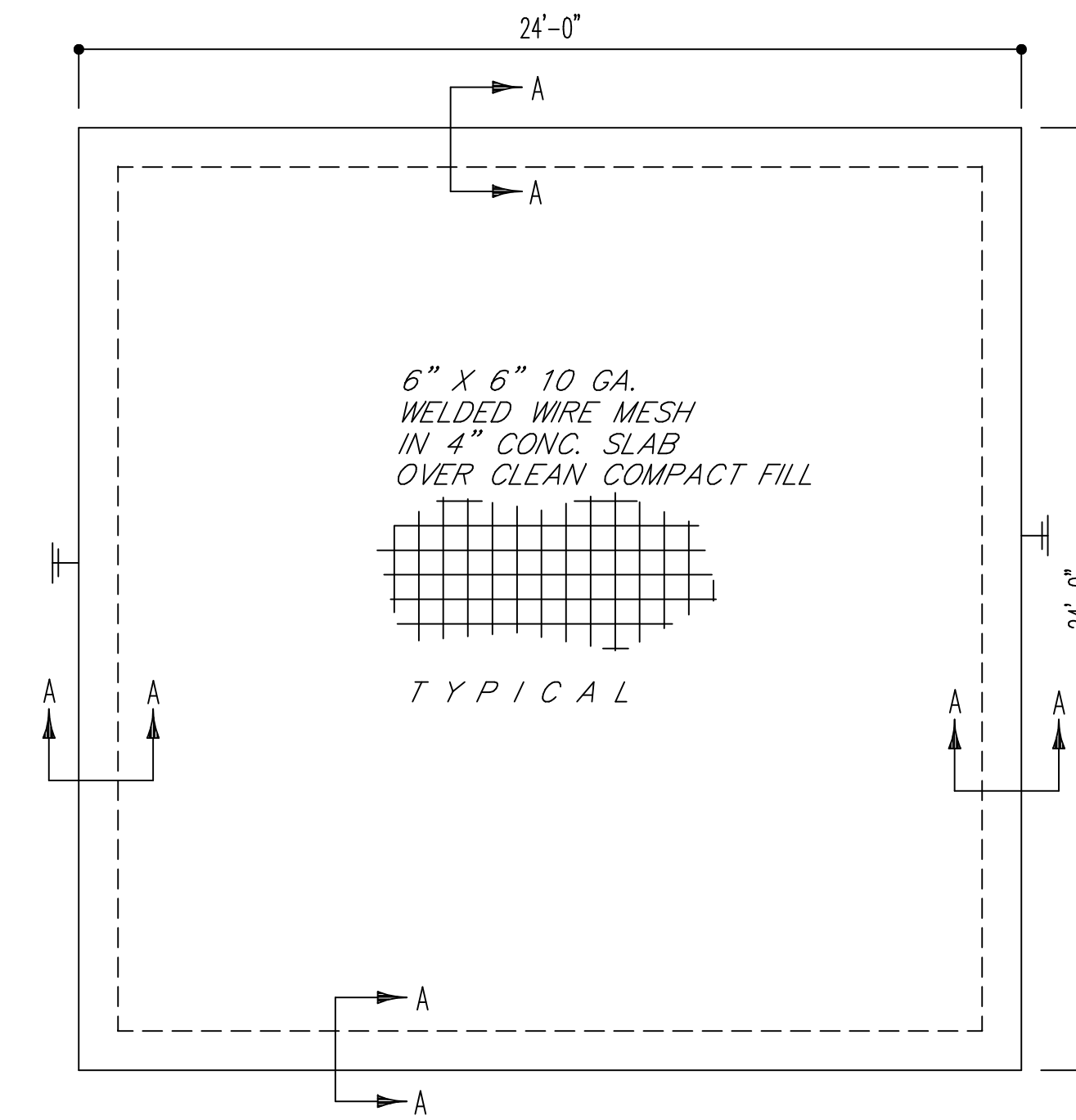
Water Spicket



Typical Wall Section N.T.S



Section A A N.T.S



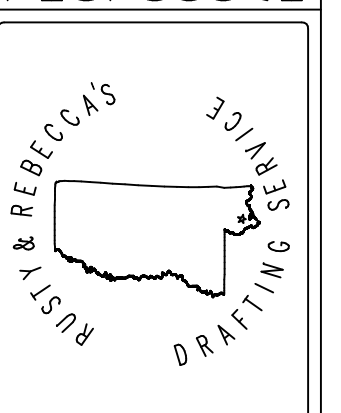
FOUNDATION PLAN

SCALE ----- 1/4" = 1'-0"

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Business Plans
Something Wildlife
Klin, Mississippi
Foundation Plan

Drawn By	Rusly Ruspoli
Date	2/27/26
Scale	1/4"=1'
Job #	06
Sheet	F.1 of 4